



FUNKY & FABULOUS – A Unique Warehouse Home with Commercial Usage for Business or Creative Ventures (S.T.C.A) 7 Ivy Lane **Darlington**

3 bedrooms 2.5 bathrooms 2 kitchens 2 large living areas 2 outdoor terraces 1 secure car space 310sqm internal

Seven Ivy Lane is the ultimate warehouse conversion. Located on a quiet lane, this historic warehouse features superb recently renovated living areas.

The entire bottom level enjoys commercial usage (S.T.C.A) if required. Currently used for living upstairs and private entertainment downstairs.

The Ground Floor features:

- Enormous 15m x 8.7m open space could be adapted for a multitude of uses
- Void at end of open space reaches 8.6m
- Two bedrooms with built-in mirror robes
- Recently installed kitchenette & powder room, bathroom & laundry
- Working open fireplace/reverse cycle air-conditioning
- Garage door & area for parking if required

The Upper Level features:

- Soaring 5.5m ceiling above living area
- Large open plan sitting, dining & kitchen space
- State of the art kitchen with restaurant quality Neil Perry oven, Bosch induction cooktop & Miele dishwasher
- Jetmaster gas fire/reverse cycle air conditioning
- North facing terrace joins living area to main bedroom pavilion
- Main bedroom with dressing room plus built-in mirror robes, opens to terrace
- Recently installed trendy ensuite features freestanding bath & white stone washplane

The Mezzanine Level features:

- For office space or storage / North facing terrace features far reaching views

The Front Exterior features:

- Sand blasted distressed finish / Axolli reinforced steel pivot front door
- Double Glazed acoustic windows on ground level

AUCTION 10.00am Saturday 11th October
(unless sold prior)

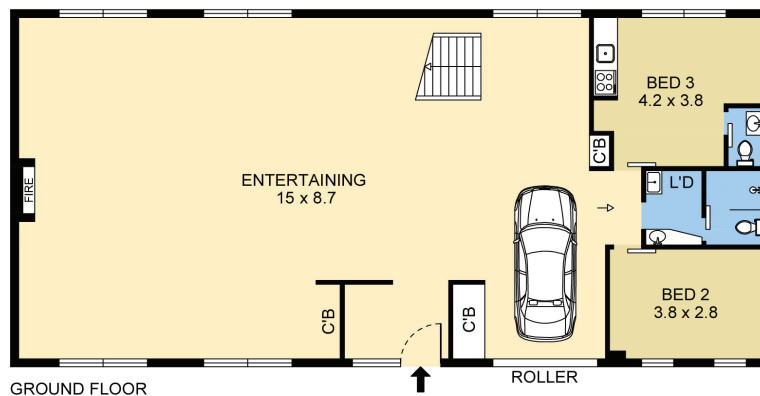
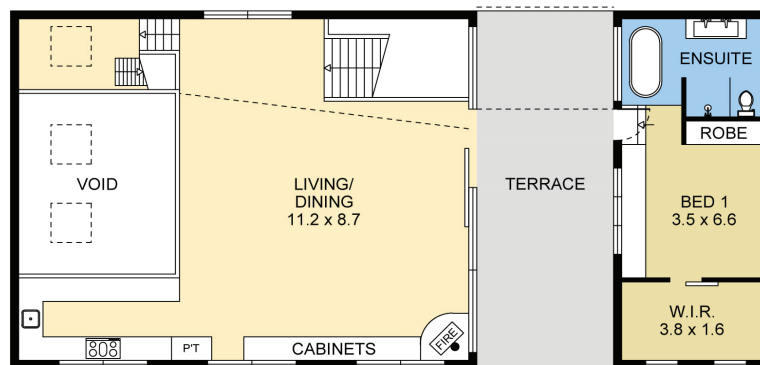
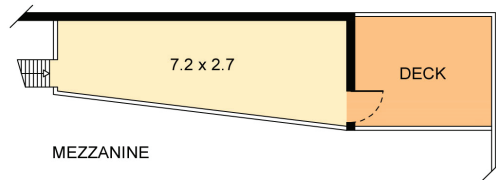
INSPECT Saturday & Thursday
10.30am – 11.15am
(or by appointment)

DETAILS Colm O'Sullivan 0418 614 322
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